

File



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AFTER RECORDING, PLEASE RETURN TO:

Judd A. Austin, Jr.
Henry Oddo Austin & Fletcher, P.C.
1700 Pacific Avenue
Suite 2700
Dallas, Texas 75201

**SIXTH SUPPLEMENTAL CERTIFICATE AND MEMORANDUM
OF RECORDING OF ASSOCIATION DOCUMENTS FOR
HIGHLAND CREEK MANOR HOMEOWNERS ASSOCIATION, INC.**

STATE OF TEXAS §
 §
COUNTY OF COLLIN §

The undersigned, as attorney for the Highland Creek Manor Homeowners Association, Inc., for the purpose of complying with Section 202.006 of the Texas Property Code and to provide public notice of the following dedicatory instrument affecting the owners of property described on Exhibit B attached hereto, hereby states that the instrument attached hereto is a true and correct copy of the following:

Design Guidelines for Highland Creek Manor Homeowners Association, Inc. [Revised June 9, 2009 and replaces all previously filed Design Guidelines] (Exhibit "A").

All persons or entities holding an interest in and to any portion of property described on Exhibit B attached hereto are subject to the foregoing dedicatory instrument until amended by the Board of Directors.

IN WITNESS WHEREOF, the Highland Creek Manor Homeowners Association, Inc. has caused this Sixth Supplemental Certificate and Memorandum of Recording of Association

Documents to be filed with the Collin County Clerk and supplements those certain dedictory instrument filings recorded: (i) in Volume 4572, Page 00094, *et seq.*; (ii) in Volume 5919, Page 03943, *et seq.*; (iii) in Volume 6023, Page 2156, *et seq.*; (iv) as Instrument No. 20070723001009840; (v) as Instrument No. 20090108000018340; and (v) as Instrument No. 20090216000165480, all in the Official Public Records of Collin County, Texas.

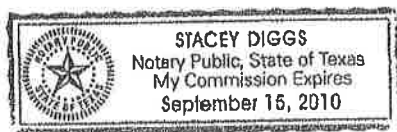
**HIGHLAND CREEK MANOR
HOMEOWNERS ASSOCIATION, INC.**

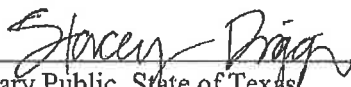
By: 
Its: Attorney

STATE OF TEXAS §
 §
COUNTY OF DALLAS §

BEFORE ME, the undersigned Notary Public, on this day personally appeared Judd A. Austin, Jr., attorney for the Highland Creek Manor Homeowners Association, Inc., known to me to be the person whose name is subscribed on the foregoing instrument and acknowledged to me that he executed the same for the purposes therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND AFFIRMED SEAL OF OFFICE on this 25th day of September, 2009.



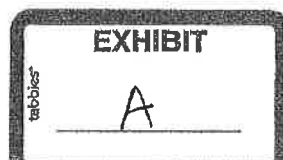

Notary Public, State of Texas

DESIGN GUIDELINES
FOR
HIGHLAND CREEK MANOR
**REVISED JUNE 9, 2009 – SUPERCEDES AND REPLACES ALL PRIOR DESIGN
GUIDELINES**

These Design Guidelines are designed specifically for Highland Creek Manor Subdivision and constitute an initial portion of the "Design Guidelines" described within the "Master Declaration of Covenants, Conditions, and Restrictions" (the "Master Declaration:") applicable to Highland Creek Manor, which has been recorded in Vol. ____, page ____ of the Deed Records of Collin County, Texas which is incorporated and which is incorporated herein by reference for all purposes.

The primary purpose of the Design Guidelines is to better assure owners of properties within Highland Creek Manor Subdivision that all individual improvements will conform to the same high standards of design excellence. The guidelines seek to establish a design framework which the homeowner will use as a guide for site improvement, with latitude and flexibility (on the one hand) balanced against preserving the value and integrity of Highland Creek Manor (on the other hand). These Design Guidelines will, hopefully, serve to guide, inform, aid and inspire to the same extent as they serve to prohibit, restrict and require. While some features are mandated, it should be understood that the Architectural Review Committee ("ARC") might make discretionary judgments to reduce or waive any requirement when it can be demonstrated (to the reasonable satisfaction of the ARC) that appropriate mitigating measures have been taken. However, such discretionary approval(s) shall not constitute a binding precedent since no two or more tracts or circumstances are likely to be alike.

1. ARC request forms must be submitted 30 days prior to commencement of any work.
2. Minimum Air Conditioned Floor Space Requirement: On thousand two hundred square feet (1,200 s.f.) for any residence.
3. Height Limitation: Thirty-six feet (36') measured from grade.
4. Minimum Dwelling Setback Requirements:
 - A. Front Yard: A minimum of ten feet (10') to main structure and a maximum of twenty feet (20'). Any garage door, which the ARC permits to face the front street, must be set back a minimum distance of twenty feet (20') and a maximum of thirty feet (30').
 - B. Rear Yard: Five feet (5') from rear lot line to main structure (excluding accessory buildings, cabanas, decks, fences, pools, etc.) Garage entrances must be at least twenty feet (20') from the alley. In other words, the driveway leading to the garage must be twenty feet (20') in length.



- C. Side Yard: "Zero Side", one foot (1') from the lot line.
- D. Side Yard: "Non-Zero Side", four feet (4') from the lot line.
- E. Side Yard: Common area adjacent lots: five feet (5').
- F. Side Yard: Corner lot, street side: ten feet (10').

5. Masonry: Unless otherwise specifically approved by the ARC, each single-family detached residential dwelling shall have at least seventy-five percent (75%) of the exterior vertical surfaces (excluding windows, doors, and roof) composed of approved masonry and/or stone unless specifically modified, reduced or waived by the ARC. Stucco or "drivit" (which is not within the "masonry" definition) will not be permitted on any residence.
6. Appliances: Each garage SHALL BE required to have an electrical garage door opener. Each home is encouraged, but NOT required to be pre-wired for an electric security system (to cover burglary, fire and panic situations) wired to an outside reputable security company. Each home SHALL BE pre-wired for a CATV system.
7. Fences and walls along creek: With respect to each and every lot which has a side or rear property line coincident with, adjacent to, close to a creek, floodway management, and/or floodway easement area, fences, and walls along frontage ARE required, and shall comply with the following requirements:
 - A. Not more than five feet (5') in height;
 - B. Wrought iron, primed and painted flat black color; and
 - C. The other standards applicable to this perimeter fence.
 - D. Gates opening onto or accessing the above mentioned creeks, floodways, easements, etc., are permitted but not required, and shall mention specified wrought iron fence. All gates shall have hardware, which can be locked.
 - E. Wrought iron fence must be kept in original condition by respective homeowner – flat black, upright.
8. Structure, fence height and materials: All new or replacement fences will require approval of the ARC. No fence structure shall exceed eight feet (8') in height measured from finished grade. All fences shall be constructed under the following guidelines:
 - A. Fences are to be repaired to their original condition, i.e.; any broken; missing or rotted areas are to be corrected with approved types of material.
 - B. Fences shall be maintained to a uniform color and state of wear through fence washing and other means of preservation.
 - C. Fences shall be repaired when any misalignment is visible from common areas.

- D. No storage bins of any kind shall exceed the height of the fence as visible from the immediate residential street.
- E. Fences are to be constructed either with solid "board-to-board" facing that is comprised of #2 or better Western Red Cedar or Spruce, or constructed with composite fencing material from "Trex" or any other provider approved by the ARC. Picket type fencing or other staggered spacing type fencing is not permitted, including dog-eared or lattice design fences.
- F. Fence poles or posts should be of steel or a rot-resistant or pressure treated lumber. If composite material is used, posts should be complimentary to the material used. Steel poles or posts are not to be visible from any residential street, alley or adjoining lot.
- G. Gates should be compatible to fencing in design, material, height and color.
- H. All new or replacement cedar or spruce fences shall be stained. Paint and latex are not acceptable. Acceptable stain colors include: Natural, Oak, Maple, Mahogany, Redwood, Cherry, Pine, Chestnut and Pecan. Approval is automatically granted to any homeowner maintaining the original stain, provided the stain color complies with these guidelines. With respect to the use of composite fencing materials, homeowners must submit a color sample to the ARC for approval.
- I. Any decorative fencing requests will be reviewed by the ARC on a case-by-case basis.

9. Roof Drainage: In order to assist in the orderly drainage and removal of roof water and the overall quality of drainage, full gutters and downspouts ARE required on all residences. All downspouts located on the "zero side" of a residence will require an underground water diversion system which forces flow to either the front or the back of the home, whichever is more practical from a drainage standpoint in order to preserve the neighboring home, its landscaping, or its property.

10. Roof Materials: All roofs on any residence (except for artistic accent over bay windows, porches, etc.) will be composition roof materials and shall weigh at least two hundred and forty pounds per square (240 lbs/p/s). The type, quality, and color must match the specified composite roofing material as described as GAF slate woodline 30 year or better, Elk Prestige High Definition antique slate 30 years or better, Tamko Oxford Gray and Malarkey Oxford Gray (class IV), or equivalent roof material as approved in writing by the ARC.

11. Required Landscaping: The lot areas listed below shall be landscaped with the following size and/or number of shade trees, which shall be from the "highly recommended" or "acceptable" category described within the Highland Creek Manor Plant Palette.

Lot Area	Minimum Requirement
Front Yard/Yard	A minimum of two (2) trees must be planted in every yard with at least one (1) tree planted in the front yard. The second tree may be planted in the back yard or side yard instead of the front yard if desired. (Trees existing on lot and alive after construction are counted.)
Common area yards	One tree per facing yard facing common area or street to be located within ten feet (10') of the property line.
Trees are to be trimmed to keep sidewalks and alleys clear for pedestrians and vehicles. All flowerbeds are to be devoid of unnatural growth.	

12. Irrigation: Highland Creek Manor requires that each lot MUST have FRONT YARD automatic irrigation system. Furthermore, each lot which has a rear or side yard adjoining a greenway frontage area, a common area, or is visible from a subdivision street MUST have an automatic irrigation system installed within such area concurrent with the finding stages or the residential dwelling and the plans and specifications to be submitted to the ARC must show the proposed irrigation arrangement. All automatic irrigation systems shall be designed by a licensed irrigator and are required to have overlapping coverage. Controller devices must be screened or placed out of ordinary view. Irrigation systems must be properly maintained and repaired at all times. Blown heads or main line ruptures shall be immediately repaired upon discovery. Any damage done to the system by maintenance personnel will be repaired at their expense.
13. Sidewalks: Unless otherwise approved by the ARC the homeowner of each single-family home shall construct a private sidewalk which shall; (a) be approved (as to size, location and materials) by the ARC 4' wide; (b) comply with applicable City of Dallas, Texas standards; (c) incorporate a "lay-down" curb on corner lots or other similar lots designated by the ARC; (d) to the extent applicable, conform to and continue the jogging trail within and adjacent to Highland Creek Manor; and (e) flatwork will be exposed aggregate or materials approved by ARC. All flatwork in the front of the residence will be exposed aggregate or material approved by ARC.
14. Address Plaques: The ARC shall designate the exclusive design, motif and materials for street address plaques. Plaques will be pre-cast concrete 9'x15' in size. The numerals will be 3.5", Rhode Island font and will be sandblasted into the plaque. No color other than black may be applied to the numerals. The numerals shall be kept readable from the street at all times. Numbers must be placed on garages and kept readable from the alleys as required by the fire department.

15. Access and View Restrictions: In no circumstance may homeowners install regular windows, recessed windows, doors, transparent glass, balconies or decks on the "zero side" of a home which allow view of the courtyard or side elevation of an adjacent lots "non-zero" side. The ARC will consider, on a case-by-case basis, any fixed windows that are fire rated, distorted view, glass block, or any other material requested by homeowner.

16. Chimneys: Any chimney located on the;
-Exterior front elevation
-Exterior zero side elevation
-Exterior street facing elevation
-Exterior side elevation facing a common area,
will be constructed of masonry/stone.

Furthermore, any exterior chimney located on any side of a home within ten feet (10') of the front elevation will be constructed of masonry/stone. Must be maintained to original condition – replace rotted wood and keep painted.

17. Paint: Paint chip must be submitted to the ARC. Homeowners will repair at appropriate intervals when indicated by weathering, wear, or any other natural causes.

18. Mailboxes: All mailboxes in the subdivision will meet the specification set forth in the "Master Design Guidelines". No substitutes will be considered. There are two choices: www.mailboxesresidential.com (#MX101) or the Home Depot (#570-546- or 559-514).

19. Antennas and Satellite Dishes: Homeowner's guidelines regarding television antennae and satellite dish restriction will be in accordance with the FCC Telecommunication Act and any amendments heretofore. The association will not make any restrictions, which impair reception, unreasonably prevent or delay installation, maintenance or use of an antenna or make restriction, which increase the cost of installing, maintenance or use of an antenna.

A. RESTRICTIONS:

1. Size

- (a) Must be DBS of one meter or less in diameter
- (b) MDS of one meter or less in diameter or diagonal measurement.
- (c) Satellite dishes
- (d) No radio antennas

2. Height

- (a) For an antenna extending more than 12 feet above the roofline, approval is required.
- (b) Antennas are restricted which:

- (1) Are nearer to the lot line than the total height of the structure above the roof
- (2) Are located near power lines
- (3) Encroach upon any streets or public space

3. Aesthetic

- (a) If the antennae can be painted to aid in causing it to blend in, and does not void the warranty, then it may be requested of the homeowner to do so.
- (b) If reception is not impaired, then it is requested that the antennae be set back from the street or placed where it is not visible from the street.

4. Safety

- (a) If a safety concern is in question, then the association may restrict the placement of an antenna. Examples would include:
 - (1) Restriction requiring a person not to place an antenna within a certain distance from a power line.
 - (2) Electrical code requirements to properly ground the antenna and requirements for securing an antenna.
- (b) Safety restrictions will be no more burdensome upon antenna users than is necessary to achieve the desired objective.
- (c) Safety reasons for restrictions will be written in the preamble to the restriction so that a person is on notice of what restrictions apply.

5. Common Elements

- (a) Installation on common property is prohibited.

20. Entry Lots: Lot 1 and 89 of block 25/8734 of the approved plat shall be restricted to one-story residence.

21. Winter/Holiday Decorations: All decorations, such as outdoor lighting and yard displays, may not be displayed before November 1st and removed no later than January 31st.

22. The City of Dallas requires that biological matter produced by your pet be picked up and disposed of properly. And, all pets should be on a leash when outside your residence.

23. The City of Dallas states that bulk trash SHALL NOT be placed curbside more than three days before your scheduled pickup. Residents will be notified by a sign placed at the guardhouse when the scheduled service week begins. **Pick up is the week following the first Monday of each month.**

24. **Trash** is collected on Thursday. Trash should be out by 7:00 AM the morning of pickup or if necessary, the evening prior in a sturdy, latching closed container. Trash containers should be kept out of sight except on collection day.
25. **Recyclables** are collected every Thursday. Place items for collection on the curb in blue plastic bags or contact City of Dallas, #311, to request a Big Blue Bin. Be sure to mention you are a resident of Highland Creek Manor when calling. Plastic bags are available free of charge at the Information Desk of the Frankford Library.
26. Per the City of Dallas code, all trees growing over sidewalks and streets must be trimmed a minimum of eight feet (8') above the ground.
27. Per the City of Dallas code, all trees growing in the proximity of street lights and street signs must be trimmed a minimum of three feet (3') from the respective light and signs.
28. Flowerbeds are to be kept weeded and shrubs trimmed by the homeowner.
29. Highland Creek Manor Bylaws state that homeowner vehicles are to be garaged; not parked on the street. New residents shall have thirty days (30) from their move-in date to unpack and clear garages for overnight parking. Fines for parking on the street will be strictly enforced thereafter.
30. Residents, guests and contractors should not park in front of mailboxes as mail will not be delivered if easy access to the box is restricted.
31. No playground equipment shall be visible from the street, common area or front driveway whether permanent or portable. Watch for children playing in the street and remember, the speed limit for streets is 25 mph and 10 mph for alleyways.
32. The homeowners will be notified when an infringement has occurred in relation to the Guidelines. When the infraction is not corrected within the time frame, as written in the violation enforcement document, the homeowner will incur monetary fines. Violations of the Guidelines and/or CCR's, if not corrected, can also result in a fine. Cost of postage, attorney fees, and court costs, if necessary, will be paid by the homeowner.
33. ARC has the right to revise guidelines and restrictions, and the power to grant variances, waivers, tolerances or modification of the standards set forth within the covenants under circumstances and conditions deemed reasonable, appropriate and prudent by the ARC.

**EXHIBIT A
APPROVED MASONRY**

ACME

Formby - 31
Old Chicago - 40
Twilight Pink - 39

Country French - 145
Old St. Louis - 150
Old Colonial - 221

Red Stone
Berkshire
Sangria
Quorum

Misty Cove
Blend 104 (DTP104)
Lexington
Rockford

U.S. BRICK

Autumn Bronze
Colonial Antique
Red River
Georgetown
Jefferson

Hill Country
Hudson Valley
Emberwood
Victorian
Nevada

HENDERSON BRICK

Hermitage
Dark Chicago
Fredricksburg

Hanover
Ross Blend

OTHER:

MERRY BROTHERS

Jamestown
Blend 11 - 245

METRO BRICK

French Antique
Viejo California
Ivory
Wild Indian

CBC LANDMARK

Cromwell
Camelot
Thornbird

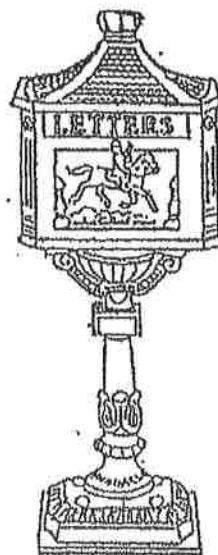
EXHIBIT B

Highland Creek Manor Exterior Paint

HCM	LOWE'S	SHERWIN WILLIAMS
Moat Gray	Ashlar Gray #8004-1c	Mega Greige #sw7031
Designer White	Statuesque #7002-5	Dover White #6385
Sahara	Churchill Hotel Ecru #3002-10c	Biscuit #sw6112
Grand Gray	Urban Sunrise #4004-1b	
Vatican Smoke		Argos

For the most satisfactory results, it will be best if you take a chip of your house paint to Sherwin Williams and have them create a blend. Let them know the age of the chip and they can help you figure in the oxidation of the paint chip color. Submit color selection chip to ARC if different than original/existing color.

EXHIBIT C
APPROVED MAILBOX SPECIFICATIONS



VICTORIAN MAILBOX

This intricately detailed mailbox with its solid brass drop would make a special statement for any home or place of business.

HEIGHT 44½" SHORT
MB101

EXHIBIT D
(intentionally omitted)

EXHIBIT E
(Intentionally omitted)

**EXHIBIT F
IRON FENCE SPECIFICATIONS**

**1/2" square solid steel pickets
4" on center**

**1' square 14 gauge steel tube rails
spaced as shown in elevation**

**steel cap on all posts
(no plastic caps)**

**All joints shall be welded
Paint shall be black**

**1-1/2" square 11 gauge steel tube
posts 6' - 0" on center and buried
2' - 0" in 8" diam. Concrete pier**

**NOTE: Pickets shall be on creek side of fence. Prime and paint entire
fence flat black.**

**NOTE: Refer to Isometric detail for material specifications.
ELEVATION OF REQUIRED FENCE DESIGN**

EXHIBIT F
IRON FENCE SPECIFICATIONS

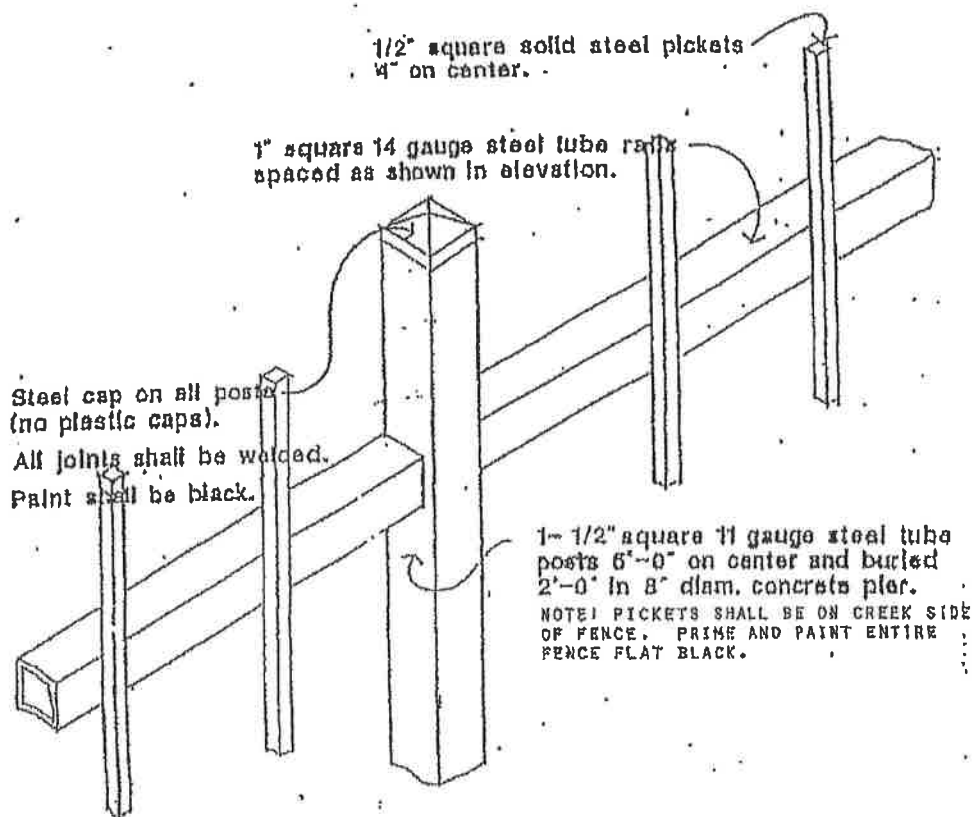
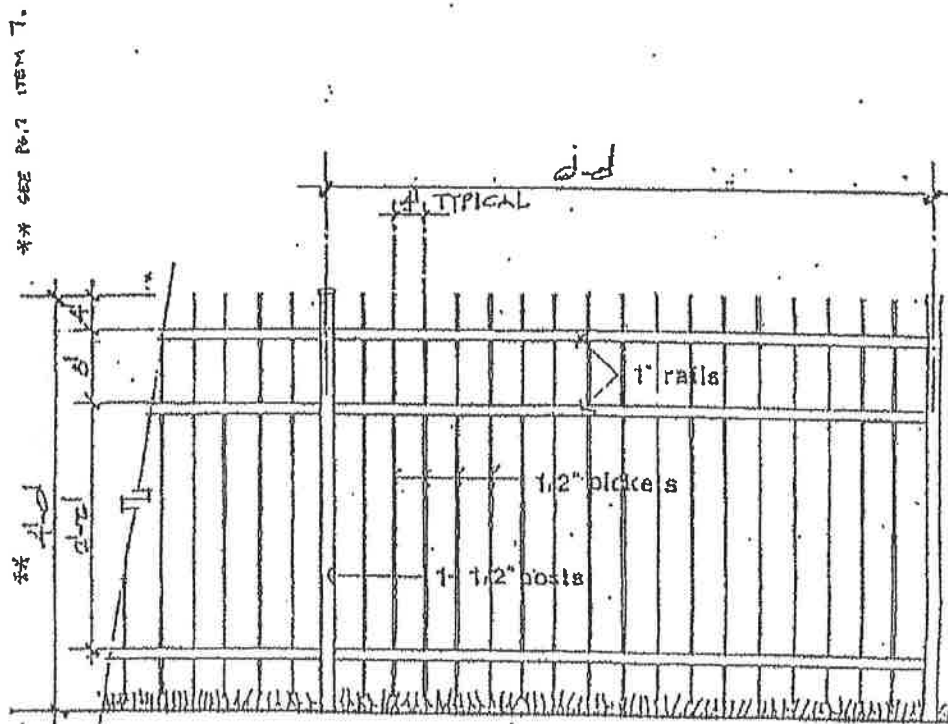
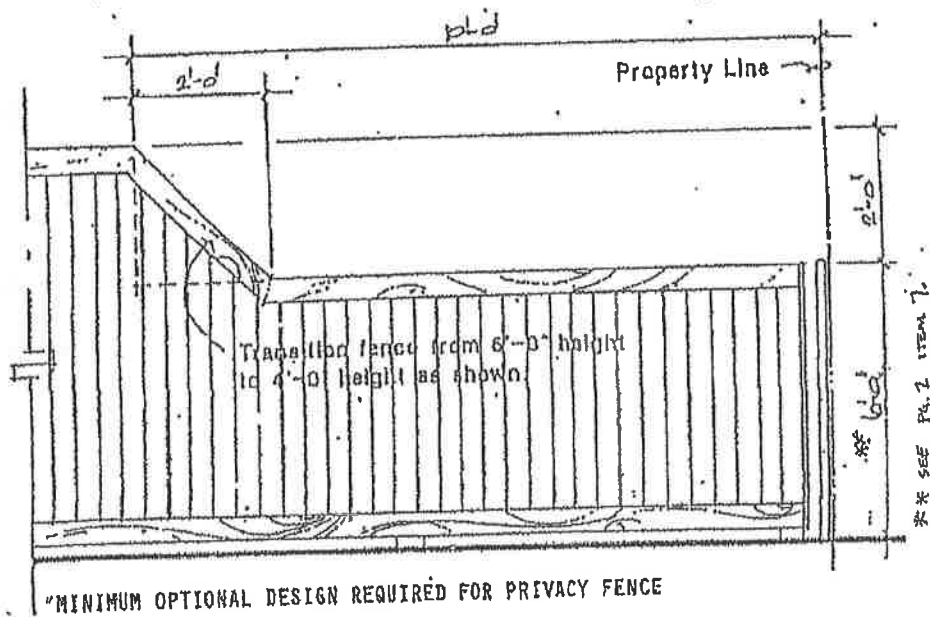


EXHIBIT F
IRON FENCE SPECIFICATIONS



NOTE: Refer to isometric detail for material specifications.
ELEVATION OF REQUIRED FENCE DESIGN

EXHIBIT G
SIDE FENCE TRANSITION SPECIFICATION



**EXHIBIT H
HIGHLAND CREEK MANOR PLANT PALETTE**

TREES/PLANTS (Botanical/Common Name)	HIGHLY RECOMMENDED	ACCEPTABLE	NOT RECOMMENDED	PROHIBITED	MINIMUM SIZE/COND.
A. <u>LARGE CANOPY TREES:</u>					
Carya illinoensis/Pecan					2 1/2" B&B
Ostrya texana/West Texas Black Persimmon					B&B
Fraxinus texensis/Texas Ash					2 1/2" B&B
Liquidambar styraciflua/Sweetgum					2 1/2" B&B
Pinus thunbergii/Japanese Black Pine					6'-8' B&B/BOX
Pistacia chinensis/Chinese Pistachio					2" B&B
Quercus glaucooides/Lacey Oak					2" B&B
Quercus macrocarpa/Bur Oak					2 1/2" B&B
Quercus muhlenbergii/Chinkapin Oak					2 1/2" B&B
Quercus shumardii/Shumard Red Oak					2 1/2" B&B
Quercus texana/Texas Red Oak					2 1/2" B&B
Quercus virginiana/Live Oak					2 1/2" B&B
Sapindus saponaria Drummondii/ Western Soapberry					2 1/2" B&B
Ulmus alata/Winged Elm					2 1/2" B&B
Ulmus crassifolia/Cedar Elm					2 1/2" B&B
Taxodium distichum/Bald Cypress					6'-8' B&B

**EXHIBIT H
HIGHLAND CREEK MANOR PLANT PALETTE**

TREES/PLANTS (Botanical/Common Name)	RECOMMENDATION				MINIMUM SIZE/COND.
	HIGHLY RECOMMENDED	ACCEPTABLE	NOT RECOMMENDED	PROHIBITED	
B. SMALL CANOPY TREES:					
<i>Cercis Canadensis</i> /Red Bud					2" B&B
<i>Cercis Canadensis</i> "Alba"/White Redbud					2" B&B
<i>Chilopsis Linearis</i> /Desert Willow					6'-8' B&B
<i>Cotinus Obovatus</i> /American Smoke Tree					6'-8' B&B
<i>Ilex Attenuata</i> "Savannah"/Savannah Holly					6'-8' B&B
<i>Ilex Decidua</i> /Possumhaw Holly					6'-8' B&B
<i>Ilex Vomitoria</i> /Yaupon Holly					6'-8' B&B
<i>Lagerstroemia Indica</i> /Crape Myrtle					6'-8' B&B
<i>Prunus Mexicana</i> /Mexican Plum					2" B&B
<i>Pyrus Calleryana</i> /Callery Pear					2" B&B
<i>Rhamnus Caroliniana</i> /Indian Cherry					6'-8' B&B
<i>Sophora Affinis</i> /eve's Necklace					6'-8' B&B
<i>Ungnadia Speciosa</i> /Mexican Buckeye					6'-8' B&B
<i>Viburnum Ruridulum</i> /Rusty Blackhaw					6'-8' B&B
<i>Viburnum</i>					6'-8' B&B
C. SHRUBS:					
<i>Berberis Swaseyi</i> /Texas Barberry					CONT.
<i>Berberis Trifoliolata</i> /Agarito					CONT.
<i>Elaeagnus Pungens</i> "Fruitlandi"/Elaeagnus					CONT./B&B
<i>Ilex Cornuta</i> "Burfordi" Nana/Dwarf Burford Holly					CONT.
<i>Ilex Cornuta</i> "Rotunda"/Chinese Holly					CONT.
<i>Ilex Vomitoria</i> Nana/Dwarf Yaupon Holly					CONT.
<i>Lagerstroemia Indica</i> /Dwarf Crape Myrtle					CONT./B&B
<i>Leucophyllum Frutescens</i> /Cenezio					CONT.

**EXHIBIT H
HIGHLAND CREEK MANOR PLANT PALETTE**

TREES/PLANTS (Botanical/Common Name)	HIGHLY RECOMMENDED	ACCEPTABLE	NOT RECOMMENDED	PROHIBITED	MINIMUM SIZE/COND.
Ligustrum Japonicum/Waxleaf Ligustrum		*			CONT./B&B
Lonicera Albiflora/Honeysuckle Bush		*			CONT./B&B
Handina Domestica/Handina	*				CONT.
Photinia Fraseri/Photinia	*				CONT./B&B
Rhamnus Indica/Indian Hawthorn	*				CONT.
Rhus Aromatica/Fragrant Sumac		*	*	*	CONT./B&B
Juniperus Chinensis "Sea Green"/ Sea Green Juniper	*				CONT.
Juniperus Sabina "Tamariscifolia"/ Tam Juniper	*				CONT.
Juniperus Sabina "Buffalo"/ Buffalo Juniper	*				CONT.
Juniperus Horizontalis "Bar Harbour"/Bar Harbour	*				CONT.
Illex A. taclarensis "Wilson" /Wilson Holly	*				CONT./B&B
Illex Opaca "Savannah"/Savannah Holly	*				CONT./B&B
D. GROUND COVER/VINES:					
Campsis Radicans/Trumpet Vine		*			1 GAL.
Gelsemium Sempervirens/Carolina Jessamine	*				1 GAL.
Hedera Helix/English Ivy	*				4" @ 15" O.C.
Liriope Muscari/Liriope	*				4" @ 15" O.C.
Lonicera Halliana/Hall's Honeysuckle		*			1 GAL.

EXHIBIT H
HIGHLAND CREEK MANOR PLANT PALETTE

TREES/PLANTS (Botanical/Common Name)	HIGHLY RECOMMENDED	ACCEPTABLE	NOT RECOMMENDED	PROHIBITED	MINIMUM SIZE/COND.
Lonicera Sempervirens/Coral Honeysuckle					1 GAL.
Ophiopogon Japonicus/Mondoegrass					4" @ 15" O.C.
Parthenocissus Quinquefolia/ Virginia Creeper					4" @ 15" O.C.
Parthenocissus Tricuspidata/ Boston Ivy					1 GAL.
Trachelospermum Asiaticum/ Asian Jasmine					4" @ 15" O.C.
Euonymus Coloratus/Trailing Euonymus					4" @ 15" O.C.
TURF GRASSES:					
Cydon Dactylon/Bermuda Grass Seed or Hydro Seed Sod					1 to 2 lbs. of seed/1000 S.F. Solid Cover (No plugs or blocks)
Stenotaphrum Secundatum/ St. Augustine Grass Sod					Solid Cover (No plugs or blocks)
Lolium Multiflorum Hybrid/ Winter Rye Grass Seasonal Overseed Only					6 to 8 lbs. of seed/1000 S.F.
Fescues					submit seeding specifications for MARC approval

EXHIBIT B

Those tracts and parcels of real property located in the City of Dallas, Collin County, Texas and more particularly described as follows:

- (a) All real property subject to the Declaration of Covenants, Conditions, Restrictions Easements, Charges & Liens on and for Highland Creek Manor, recorded on December 2, 1994 under Collin County Clerk's Index No. 94-00106483 in the Land Records of Collin County, Texas.
- (b) Lots 1 thru 46 of Block 25/8734; Lots 48 thru 69 of Lot 25/8734; Lots 71 thru 89 of Block 25/8734; Lots 1 thru 14 of Block 26/8734; Lots 1 thru 27 of Block 27/8734; Lots 1 thru 20 of Block 28/8734; and Lots 1 thru 12 of Block 29/8734 of Highland Creek Manor, an Addition to the City of Dallas, Collin County, Texas, according to the Plat thereof recorded in Volume 1, Pages 330-332, Deed Records, Collin County, Texas.

Exhibit-B.wpd

Filed and Recorded
Official Public Records
Stacey Kemp, County Clerk
Collin County, TEXAS
09/29/2009 02:06:49 PM
\$108.00 BPETERSON
20090929001208510



Stacey Kemp